

**WINDOW REPLACEMENT
APPROVAL REQUEST FORM**

Unit owner(s) name: _____ Unit #: _____

Telephone number: _____ E-mail: _____

Requesting approval to replace windows in the following rooms (check all that apply):

- Living Room window (1 picture window unit—fixed lite with operable side lites)
- Front Bedroom window (1 double—double hung window)
- Master Bedroom (2 single—double hung windows)

The approved contractor you have selected to do the work (check one):

- The Window Source of New Hampshire

Window Choices (check one):

- Approved Harvey Classic (formerly Signature) windows
- Approved Andersen 400 Series windows

Total contract amount I will be paying the approved contractor: \$ _____

Unit Owner Signature: _____ Date: _____

Approved: _____ Date: _____

SPRINGBROOK CONDOMINIUM ASSOCIATION
2000 Springbrook Circle | Portsmouth, New Hampshire 03801
603.610.0165 | www.springbrookcondos.com

August 2014

If you are considering replacing your windows, there are a few things you need to know:

1. You need consent from the Board of Directors to proceed.
2. There are two approved windows from which you may choose. They are:

(1) Harvey Classic (formerly Harvey Signature):

Harvey Classic, single double hung, white (master bedroom)

Harvey Classic, double double hung, white (front bedroom)

Harvey Classic, picture window, fixed lite with operable side lites (living room)

(Note: Your window air conditioner may not fit in this window.)

(2) Andersen Tilt-Wash:

Andersen Tilt-Wash, single double hung, TW 3046 white (master bedroom)

Andersen Tilt-Wash, double double hung, TW 3046-2 white (front bedroom)

Andersen picture window unit, TW 18 DHP 3446-18 white (living room)

3. The windows must be installed by an approved contractor and in accordance with the written specifications provided by the Association (SK-1 dated 5/2000 and SK-2A dated 5/2007):

The Window Source of New Hampshire, Seabrook, NH

Contact: Skip Longacre at 888.282.2912

Any contractor who is interested in becoming Springbrook-approved should review the specs. Interested contractors should contact Property Manager Ron Maglieri at 603.610.0165. The Board will review their completed bid and, if approved, the contractor will be added to the existing approved contractors.

Note: A newly approved contractor will be required to have its first installation at Springbrook inspected by an engineer from Noblin & Associates. The charges associated with that inspection must be paid by the contractor.

Where Do I Begin?

- Select an approved contractor.
- Decide on which windows you plan to replace.
- Decide on which window(s) you plan to install (Harvey or Andersen).
- Complete the attached **Request Form** and mail it to 2000 Springbrook Circle, Portsmouth, NH 03801 (or drop it in the "2000" box inside the mailhouse).

Your **Request Form** will receive the Board's prompt attention.

Note: If the total window replacement job exceeds \$3,000, your contractor is required to obtain a building permit from the City of Portsmouth (Building Dept.: 603.610.7243).

If you have questions, contact Property Manager Ron Maglieri at 603.610.0165.

Thank you.

The Board of Directors

NOBLIN & ASSOCIATES, L. L. C.

Consulting Engineers

WINDOW REPLACEMENT AND RELATED WORK

**SPRINGBROOK CONDOMINIUM
PORTSMOUTH, NEW HAMPSHIRE**

OWNER: Springbrook Condominium Association
2000 Springbrook Circle
Portsmouth, New Hampshire 03801

ENGINEER: Noblin & Associates, L. L. C.
Suite 302
680 Central Ave.
Dover, New Hampshire 03820

DATE:

Springbrook Condominium Association Window Bid Form

(1) The bidder agrees to perform the specified work for the following prices:

(a) Double-Hung Windows

The bidder agrees to perform replacement of Single Double-Hung Window Units at Springbrook Condominiums, as described in the required specifications and shown on the plans, for the sum of:

- Harvey Classic Window: \$ _____/Unit
- Andersen Series 400: \$ _____/Unit

(b) Double Double-Hung Windows

The bidder agrees to perform replacement of Double Double-Hung Window Units at Springbrook Condominiums, as described in the required specifications and shown on the plans, for the sum of:

- Harvey Classic Window: \$ _____/Unit
- Andersen Series 400: \$ _____/Unit

(c) Bay Windows

The bidder agrees to perform replacement of Bay Window Units, including Fixed Lite and Operable Side Lites, at Springbrook Condominiums, as described in the required specifications and shown on the plans, for the sum of:

- Harvey Classic Window: \$ _____/Unit
- Andersen Series 400: \$ _____/Unit

(2) Unit Prices

Description:	Contract Quantity:	Unit Price:
- Wall Framing Replacement:	\$ _____/b.f.	\$ _____
- Wall Sheathing Replacement:	\$ _____/s.f.	\$ _____
- Insulation Replacement:	\$ _____/s.f.	\$ _____
- Siding/Underlayment Replacement:	\$ _____/s.f.	\$ _____
- Miscellaneous Repairs:	\$ _____/man hour	\$ _____
- Material Mark-Up:	_____%	\$ _____

The undersigned hereby certifies under the penalties of perjury that this bid is in all respects bona fide, fair, and made without collusion or fraud with another person. As used in this context, the word "person" shall mean any natural person, joint venture, partnership, corporation, or other business or legal entity.

Name of Corporation: _____

Name of Corporation's Authorized Official: _____

State of Incorporation: _____

Signature and Date: _____

SECTION 06100

ROUGH CARPENTRY

PART 1 - GENERAL

1.01 SUMMARY

The Contractor shall supply all materials, equipment and labor required for completion of the work under this section. This work includes preparation of wall openings receiving new windows and replacement of deteriorated materials. All new materials shall be installed in a first class, workmanlike manner. The Contractor shall schedule and coordinate the work to minimize any inconvenience to the building occupants and any disruption of the normal use of the building.

1.02 SCOPE OF WORK

- A. Removal and replacement of any damaged or deteriorated structural framing or blocking materials.
- B. Removal and replacement of any damaged or deteriorated structural wall sheathing materials.
- C. Removal and replacement of any deteriorated insulation materials.
- D. Installation of new siding underlayment and flashings in areas to receive siding materials.
- E. Resecurement of all loose or inadequately secured structural wall framing/sheathing materials found to be in sound condition.
- F. Removal and reinstallation of any electrical, mechanical or other components affected by the work.
- G. Removal and replacement of siding materials.
- H. Provide final clean-up.

PART 2 - MATERIALS

2.01 MATERIALS

- A. Structural Lumber shall be new, sound, straight, of consistent size, free of stains and mildew, and kiln-dried to a moisture content of not more than 19%. Lumber shall be No. 2 and Better Hem-Fir or Southern Yellow-Pine. Lumber shall be surfaced-four-sides and shall bear grade and trademarks.
- B. Exterior sheathing shall be C-D EXT plywood conforming to APA specifications. Plywood shall have a maximum moisture content of 19% by weight on a dry weight basis. Replacement plywood thickness shall match the thickness of the existing materials.
- C. New clapboard style siding materials shall be solid extruded polyvinyl chloride (PVC) siding to match the existing.

New shingle style siding materials shall be solid molded polypropylene with a .10" thickness.

- D. Fasteners shall be of proper length and size to provide adequate securement for their intended use. All fasteners shall be compatible with surrounding materials to prevent galvanic corrosion.
 - 1. Fasteners for 2" structural lumber securement shall be 16d, hot dipped galvanized ring shank nails. Fasteners shall have minimum 1 1/2" penetration into sound substrate.
 - 2. Fasteners for plywood sheathing securement shall be 8d, hot dipped galvanized ring shank nails. Fasteners shall have minimum 1 1/2" penetration into sound substrate.
 - 3. Fasteners for siding securement shall be 11 gauge, barbed shank, aluminum nails with 3/8" heads and adequate length to provide 1 1/2" penetration into sound materials.
- E. New insulation shall be kraft faced fiberglass batt insulation of the proper thickness to fill the required opening without excessive compression.
- F. Siding underlayment and flashings shall be 15 pound asphalt saturated felt conforming to ASTM D 4869, Type I specifications.

PART 3 - EXECUTION

3.01 REMOVAL OF EXISTING MATERIALS

All work shall be performed in a first class, workmanlike manner.

- A. All deteriorated siding and underlayment shall be removed down to the structural wall sheathing.
- B. All existing siding and underlayment shall be removed down to the structural wall sheathing as required for installation of new materials.
- C. All deteriorated or delaminated plywood wall sheathing shall be removed and disposed of.
- D. All deteriorated wood framing members shall be removed and disposed of.
- E. All damp or otherwise deteriorated insulation materials shall be removed and disposed of.

3.02 INSTALLATION OF NEW MATERIALS

All materials shall be installed in a first class, workmanlike manner.

- A. Wall Framing Replacement - All replacement wall framing shall be installed to match the original framing and to provide proper, sound and secure structural support for the existing wall and new sheathing and siding materials. All wall framing shall be installed properly level and true, with tight, close fitting joints, securely attached to the surrounding construction.
- B. Plywood Sheathing Replacement - Replacement plywood sheathing shall be secured to structural framing members with the specified fasteners at 6" o.c. on panel edges and 8" o.c. in the field of the panels. The original sheathing shall be cut back to provide a minimum 1/2" bearing surface for the

new sheathing over the entire length of both sides of the new sheathing. The new sheathing shall be provided with bearing on structural framing members along the top and/or bottom edges wherever possible.

- C. Insulation Replacement - Replacement insulation shall be installed in the existing cavities with the kraft facer on the interior face of the wall. New insulation shall completely fill the cavity without excessive compression.
- D. Any sound structural wall sheathing or framing found to be loose or inadequately fastened shall be refastened with approved fasteners to provide a sound, unyielding structure.
- E. Underlayment/Flashing Installation - Siding underlayment shall be installed in all areas receiving new siding. Siding underlayment shall be installed with enough fasteners for securement on clean, smooth wall surfaces. Provide minimum 2" head laps and 4" end laps in felt underlayment.
- F. Siding Installation

- 1. Siding materials shall be installed in strict accordance with the Manufacturer's requirements. Siding and accessories shall be installed with properly lapped joints and details to provide a secure, watertight system. All siding system components shall be provided with proper flashings along all exposed top edges to provide a completely flashed system.

All fasteners shall be installed through preformed slots intended for this purpose. There shall be no face nailing of siding materials or accessories.

Siding and accessories shall be fastened to allow adequate thermal expansion and contraction as required by the Manufacturer. Where other building components require installation of fasteners through the siding materials, provide predrilled holes, 1/4" oversized, for all fasteners. Siding shall be installed with a 1/4" clearance between panel ends and the backs of corner, J bead and other termination reveals.

- 2. Siding shall be installed and fastened with the specified fasteners at each underlying framing member. Fastener spacing shall be no more than 24" o.c. in any area.

Siding shall be installed in the longest practical lengths to minimize joints, with single length pieces wherever possible. Where siding can not be completed with single length pieces, individual pieces shall have lengths of not less than 36".

Siding shall be installed with a solid connection between the bottom hook and the corresponding return on the underlying panel. Siding panels shall be installed without vertical tension which pulls or distorts the panels.

Butt joints in siding shall be installed with a 1" overlap in the exposed panel sections and a 1/2" clearance between fastened nailing flanges. All exposed butt joints shall be factory ends. Lap butt joints away from the heaviest flow of traffic. Joints in successive panel courses shall be staggered a minimum of 36".

END OF SECTION

SECTION 08520

WINDOWS

PART 1 - GENERAL

1.01 SUMMARY

The Contractor shall supply all materials, equipment and labor required for completion of the work under this section. This work includes the installation of the new windows and associated materials. All new materials shall be installed in a first class, workmanlike manner. The Contractor shall schedule and coordinate the work to minimize any inconvenience to the building occupants and any disruption of the normal use of the building.

1.02 SCOPE OF WORK

- A. Removal and disposal of the existing window units.
- B. Installation of new metal sill flashings and waterproofing membrane flashings below new window units.
- C. Installation of new window units and associated hardware.
- D. Sealing of window perimeters.
- E. Inspection and adjustment of new operable window components.
- F. Cleaning of window surfaces.
- G. Provide final clean-up.

PART 2 - MATERIALS

2.01 MATERIALS

New windows shall be architectural units conforming to AAMA/NWWDA 101/S.2-97, "Voluntary Specification for Aluminum, Vinyl (PVC) and Wood Windows and Glass Doors".

Window types shall match the existing windows. New Double-Hung windows shall have a minimum rating of DH-LC-35. New Fixed windows shall have a minimum rating of F-LC-35.

Window finish shall match the existing windows to the satisfaction of the Trustees of the Springbrook Condominium.

2.02 RELATED MATERIALS

- A. New metal flashings shall be shop fabricated from .032" thick 3003-H 14 alloy aluminum conforming to ASTM B-209 and FS QQ-A-250/2 specifications. Finish shall match the new window finish.
- B. Waterproofing membrane shall be self adhering rubberized asphaltic membrane with integral polyethylene sheeting with .040" thickness. Waterproofing membrane shall conform to ASTM D412 and D146 specifications.

- C. Insulation shall be unfaced fiberglass insulation. Insulation shall be properly sized to fill the cavities surrounding the window frames.
- D. Fasteners shall be of proper length and size to provide adequate securement for their intended use. All fasteners shall be compatible with surrounding materials to prevent galvanic corrosion.
 - 1. Fasteners used to secure window systems to metal or wood surfaces shall be heat treated self-tapping screws conforming to AISI 1022 specifications with a bright zinc clear chromate plating. Fasteners shall be of sufficient length to penetrate the substrate a minimum of 1".
- E. Sealant materials shall be a low modulus, one part, moisture curing polyurethane terpolymer sealant conforming to FS TT-S-00230C, Type II, Class A and ASTM C920-79, Type S, Grade NS Class 25 specifications. Sealant shall be Dymonic as manufactured by Tremco, of Cleveland, Ohio. Color shall match the surrounding materials to the satisfaction of the Owner.

All sealant accessories including primers, solvents, cleaners, backer rod, and bond breaker tapes shall be by or approved by the sealant Manufacturer.

PART 3 - EXECUTION

3.01 INSTALLATION OF NEW MATERIALS

All materials shall be installed in a first class, workmanlike manner and the Manufacturer's requirements.

- A. The existing window units and related components shall be removed to the structural opening, and properly disposed of.
- B. All openings shall be plumb, square and level and of the proper dimensions for the new window units and associated materials. Provide additional blocking as required to provide the proper openings.
- C. All voids between the openings and new window frames shall be filled with the specified insulation materials to minimize the circulation of air around the new window units. Fiberglass insulation shall not be compressed to less than 50% of its original thickness.
- D. New metal sill flashings shall be installed in all openings and provided with a continuous pitch of 1/8" in 12".
- E. New membrane waterproofing flashings shall be installed over the new metal sill flashings below new window units. Provide a minimum 1" back dam and 1" end dams at jambs. Membrane flashings, including backs, sides and corners, shall be made watertight to prevent water infiltration into the building interior or wall cavity.
- F. New windows shall be installed plumb and square in properly prepared openings. New windows shall be installed without springing, forcing or distorting. Window heads and sills shall be aligned parallel and square with jambs. Fasteners and accessories shall be installed at the specified rates to provide continuous support for the new units at sills, jambs and heads.
- G. Interior and exterior trim shall be installed as required to cover all building lines and joints to provide a clean, finished appearance for the new window units.
- H. Sealant materials shall be applied to window perimeters and joints in strict accordance with the sealant Manufacturer's requirements to form a watertight, airtight condition.

- I. The Contractor shall inspect, lubricate and adjust all new operable window components as required to provide proper weathertight closure of sashes, proper seal of weatherstripping and smooth operation.

END OF SECTION

NOTES:
 REPLACE ALL EXISTING STRUCTURAL
 FRAMING, SHEATHING & INSULATION
 MATERIALS FOUND TO BE DETERIORATED
 W/ NEW MATCHING MATERIALS.

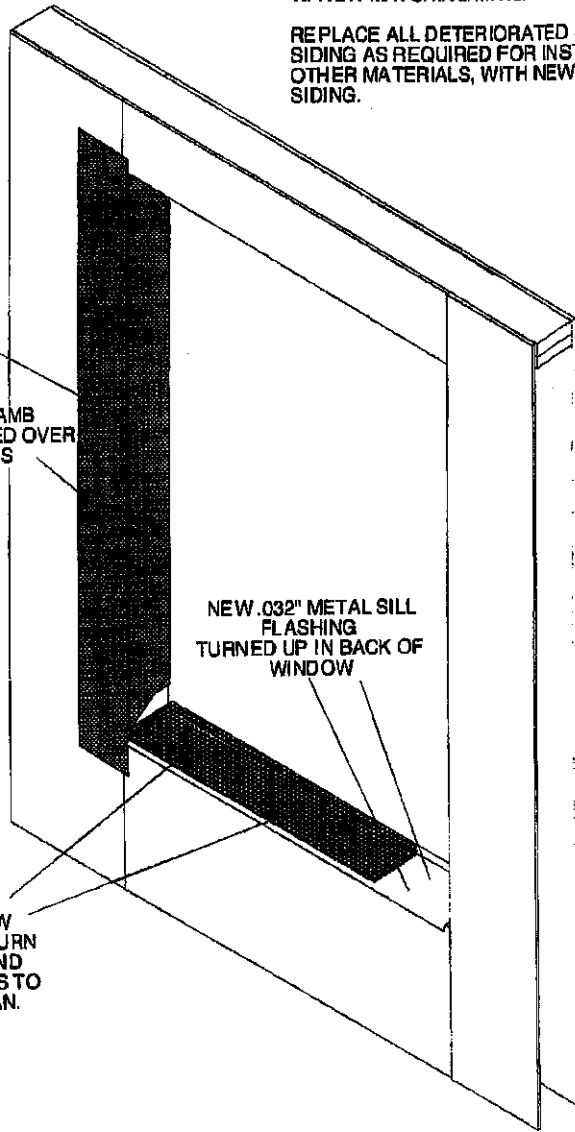
REPLACE ALL DETERIORATED SIDING, AND
 SIDING AS REQUIRED FOR INSTALLATION OF
 OTHER MATERIALS, WITH NEW PREPRIMED
 SIDING.

NEW ASPHALT
 SATURATED FELT
 UNDERLAYMENT BEHIND
 ALL NEW SIDING & TRIM.
 EXTEND JAMB
 FLASHINGS OVER ENDS
 OF NEW SILL
 FLASHINGS.

ASPHALT FELT JAMB
 FLASHINGS EXTENDED OVER
 SILL FLASHINGS

NEW .032" METAL SILL
 FLASHING
 TURNED UP IN BACK OF
 WINDOW

WATERP ROOFING
 MEMBRANE OVER NEW
 METAL SILL FLASHING. TURN
 MEMBRANE UP 1" BEHIND
 WINDOW SILL AND JAMBS TO
 FORM WATERTIGHT PAN.



WINDOW SILL FLASHING
 (NOT TO SCALE)

NOBLIN & ASSOCIATES, L.L.C.
 CONSULTING ENGINEERS
 PORTSMOUTH, NEW HAMPSHIRE

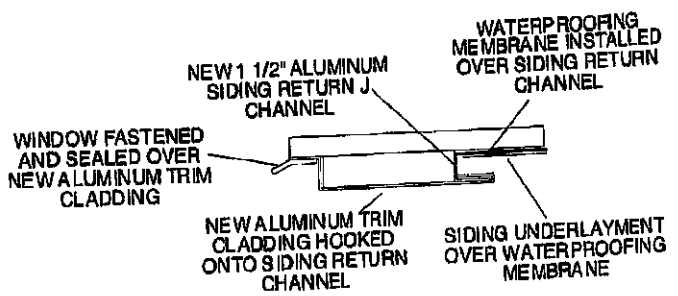
WINDOW REPLACEMENT
 SPRINGBROOK CONDOMINIUM
 PORTSMOUTH, NEW HAMPSHIRE

DRAWN: NWH
 CHKD: TDL

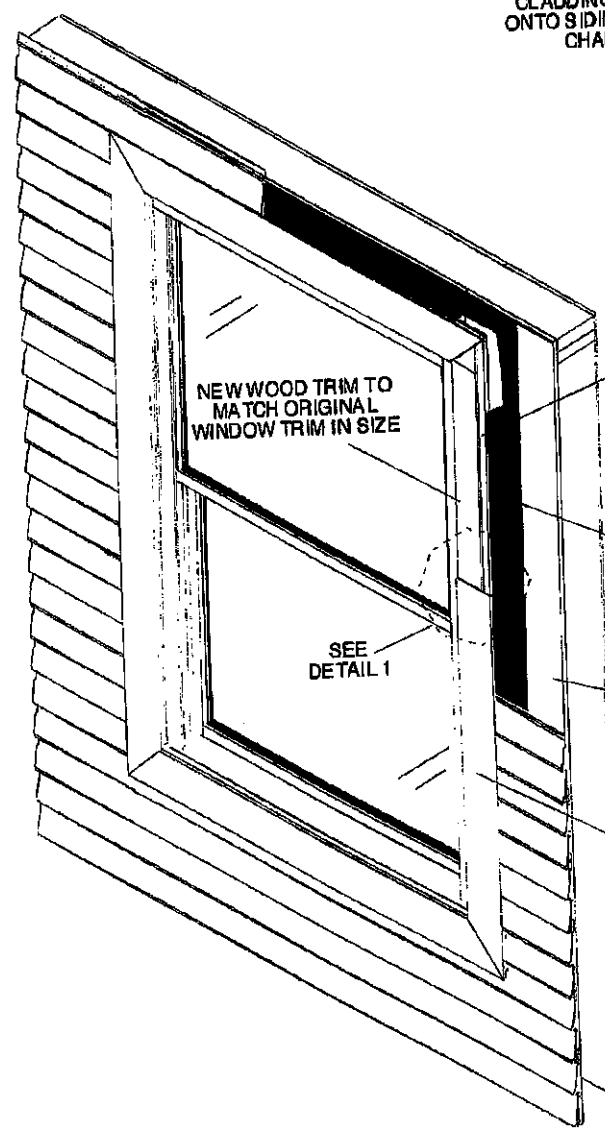
**WINDOW SILL
 FLASHING**

SCALE: NTS
 DATE: 5-00

SK-1



DETAIL 1



- NEW ALUMINUM SIDING RETURN J CHANNEL
- WATERPROOFING MEMBRANE INSTALLED OVER SIDING RETURN CHANNEL AROUND WINDOW PERIMETER EXTENDED MINIMUM 6" ONTO WALL
- SEAL UNDERLAYMENT OVER WATERPROOFING MEMBRANE WITH MANUFACTURER'S APPROVED TAPE
- NEW ALUMINUM TRIM CLADDING HOOKED ONTO SIDING RETURN CHANNEL

<p>NOBLIN & ASSOCIATES, L.L.C. CONSULTING ENGINEERS DOVER, NEW HAMPSHIRE</p>	<p>EXTERIOR SIDING REPLACEMENT SPRINGBROOK CONDOMINIUM PORTSMOUTH, NEW HAMPSHIRE</p>	<p>WINDOW FLASHING</p>	<p>SK-2A</p>
	<p>DRAWN: NWH CHKD: TDL</p>	<p>SCALE: NTS DATE: 5-07</p>	