

**SPRINGBROOK CONDOMINIUM ASSOCIATION  
RESIDENCY RULES AND REGULATIONS**

These rules and regulations are meant to provide for harmonious living at Springbrook Condominium. They have been developed with the best interest of all owners and residents in mind. It is our hope that the rules and regulations in effect here will help make your life more pleasant.

It is the responsibility of each owner and resident to assist in the enforcement of these rules and regulations. Your cooperation will make Springbrook more enjoyable for all. All complaints regarding violation of the Residency Rules and Regulations must be submitted in writing to:

Springbrook Condominium Association  
2000 Springbrook Circle  
Portsmouth, NH 03801

Should it be necessary to take *immediate* action relative to a violation, property manager Ron Maglieri may be notified by phone at 610-0165. A written follow up should then be provided.

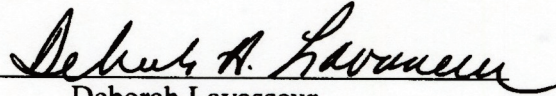


**Springbrook Condominium Association**

These amended Residency Rules and Regulations of the Springbrook Condominium Owners Association replace, in their entirety, the Residency Rules and Regulations contained in Section F of the Springbrook Condominium Documents.


They were amended by the Springbrook Condominium Association on August 14, 2003 in accordance with Article IV, Section 1. (h) of the Association By-Laws.

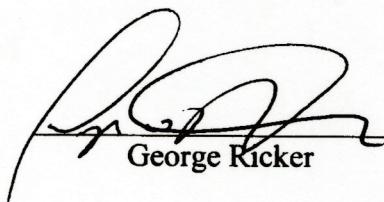
I, Deborah Lavasseur, Secretary of the Board of Directors of the Springbrook Condominium Association, do hereby affirm that the consent and approval for the amended Residency Rules and Regulations has been given as required by the Association By-Laws.

  
Deborah Lavasseur

Date: June 10, 2004

Certified this 10<sup>th</sup> day of JUNE, 2004

  
Dean Savramis President, Springbrook Board of Directors

  
George Kicker Vice President, Springbrook Board of Directors

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ROCKINGHAM COUNTY  
REGISTRY OF DEEDS



**SPRINGBROOK CONDOMINIUM ASSOCIATION  
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1. The submitted land is primarily intended for use as a residential community and each unit is limited to occupancy of a nuclear family or four (4) unrelated individuals. A nuclear family at Springbrook is defined as a mother, father, "step-parent" and/or their children.
2. Owners or residents shall neither make nor permit their guests or invitees to make any improper, offensive, or unlawful use of any property comprising the condominium. In particular, no use shall be made of any unit which would become an annoyance or nuisance to other unit owners or residents.
3. Owners, residents and their guests shall reduce noise levels after 10:00 PM Sunday through Thursday, and after 11:00 PM Friday and Saturday so that neighbors are not disturbed. At no time are musical instruments, radios, televisions, or stereos to be so loud as to become a nuisance.
4. Each owner or resident shall keep and maintain the interior of their unit and storage area, the interior of exterior doors and fixtures, appliances located therein, and any limited common area in good condition and repair at all times. Storage areas shall be maintained in a neat orderly condition at all times. The Association shall also control the use of common storage areas. Combustible material must be stored in the separate storage areas provided. Storage of combustible material within units or the unit storage area is prohibited.
5. The exclusive property of a unit owner or resident shall not be used or altered in any manner that would affect an increase in the expense of operation of the condominium, nor shall structural alterations of any nature be made without the express, written approval of the Association. An owner may install an approved screen or storm door at the entrance to their unit after obtaining approval from the Association. An owner shall not paint or otherwise decorate or change the appearance of any portion of the exterior of the unit or building except as herein provided. Any additions to the exterior of the building shall also first require written approval from the Association.
6. Each owner shall be liable for any and all damages to exclusive or common property which shall be caused by said owner, their lessees, guests, or invitees. To the extent that such damages are not covered by insurance proceeds, such owner shall be assessed by the Association for the costs of repairs and the same shall be a lien against the unit of such owner and may be enforced as provided by the Declaration, By-Laws, or the Condominium Act. Each owner shall promptly pay when due all repair bills and utility bills which are separate liens or charges against their unit.



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7. Common areas shall not be obstructed, littered, defaced, or misused in any manner. Exterior surfaces of exclusive property shall not be decorated in any manner without the consent of the Association. No signs shall be posted except those which have been approved, in writing, by the Association. Common areas shall not be used for hanging garments or other objects, or for cleaning of rugs or other household items. Only non-intrusive flowers may be planted by residents in the exterior shrub and flower beds. The appearance of the common areas shall not be altered in any manner. This includes the placement of picnic tables, patio furniture, lawn ornaments and accessories, etc.
8. Garbage shall be disposed of using the appropriate container located in the designated trash enclosures. The use of garbage disposals is prohibited. Recycling is mandatory at Springbrook. A list of recyclable material has been provided to each unit owner or resident. All recyclable material, except corrugated cardboard, shall be disposed of using the recycle containers (totes) located near the dumpsters. Corrugated cardboard shall be broken down and deposited in the dumpster marked "CARDBOARD ONLY". All non-recyclable material shall be deposited in the large dumpsters. All trash receptacles shall be covered and constructed of materials approved by the Association. At no time is trash of any kind to be stored outside a unit. Dumpsters within the condominium are for collection of residential waste only and are not to be used for disposal of commercial waste.
9. Barbecues, skateboards, roller-skates, scooters, and bicycles are not to be used on or to obstruct the concrete walkways, or leaned against buildings, shrubs or trees. All of these items shall be properly stored away from the common area when not in use.
10. Pets shall be maintained in a manner that does not create an annoyance or nuisance to other unit owners or residents (i. e. continuous barking). Dogs shall be kept on a leash and under control when outside the unit. When pets are taken outdoors to relieve themselves, they must be walked off the common grass and landscaped areas and away from the pond into the woods on the periphery of the property or other areas designated by the Board of Directors. Pet owners are responsible for immediately removing any excrement deposited outside the peripheral woods, using a pooper-scooper or similar means, and putting the waste into the proper dumpster. Cats shall not be allowed to roam unattended at any time.

The Board of Directors shall have the right to determine that a particular pet constitutes a nuisance and may order the unit owner to remove the pet from the premises. In the event that an owner or their tenant does keep a pet in contravention of the provisions of the regulation,



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the Association shall have the right to apply to a court of competent jurisdiction for an injunction to require the owner to remove same. In the event the Association prevails in its suit for an injunction, the defending unit owner shall be required to pay the Association's cost, including reasonable attorney's fees.

11. Each unit owner or resident shall permit access to their exclusive property by the Association or the agents or employees of the Association for the purpose of maintenance, inspection, repair, replacement, or improvements in said exclusive property or the common property, or as may be required in emergency situations. For the purpose of providing access to each unit and storage area in emergency situations during their absence, each owner shall leave a key with the Association's manager or with some person residing on the premises, after notifying the Association of its location. Renters shall be notified of this requirement.
12. Owners or residents shall not at any time permit the temperature within their units to be less than 65 degrees Fahrenheit during the winter months.
13. The common area shall not be used in a manner which is inconsistent with the residential character of the condominium. No one shall obstruct, commit any waste in or otherwise cause any damage beyond reasonable wear and tear to the common area. Anyone causing such damage shall pay the expense incurred by the Association in repairing or replacing same. Nothing shall be stored in, constructed in, or removed from the common area without the prior written consent of the Association. The large, grassy area between the tennis courts and woods, on the play set side, is designated for ball playing, hockey, baseball and other sports. These activities are prohibited in the parking lots, walkways, and lawn areas.
14. No commercial vehicles, boats, trailers, campers, snowmobiles, snowplows, or all-terrain vehicles shall be used or kept anywhere on the premises of the condominium. Motor vehicles not currently registered and roadworthy for use on highways shall not be stored, driven, or parked on condominium property. Performing repairs (oil changes, brakes, exhaust, tune-ups, etc.) and washing of vehicles, boats, etc. is prohibited.
15. Owners, residents, or their guests shall not drive in any reckless manner which could cause harm, cause property damage, or be a nuisance to other residents. The maximum speed limit within Springbrook Condominium is 15 mph.



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16. Owners may lease their units by written lease for no less than 30 days. Occupancy under lease shall only be by the tenant and their family. All such leases or rentals shall be subject in all respects to these Residency Rules and Regulations and the Condominium Documents.
17. The Association shall indicate parking areas for residents, and shall further designate parking areas for guests. Such indication shall not be considered a reservation of any particular parking space for a particular unit, but, rather indicates the number of spaces for owner/resident parking as separate from guest parking. All parking spaces shall be on a non-exclusive, non-reserved basis. Unit owners and residents parking is provided for a maximum of two vehicles per unit. Additional vehicles should be parked in guest parking. Vehicles shall not be driven or parked on any grassy areas. Parking is not permitted in the roadways or in any manner so as to obstruct walkways or the movement of other vehicles.
18. No activities of any kind are permitted on the pond.
19. Use of the swimming pool, tennis courts, and the clubhouse shall be in accordance with Attachment 1 of this document.
20. Should any owner or resident not comply with these rules and regulations penalties specified in Attachment 2 will be imposed.
21. Reasonable regulations concerning the use of the units, the common elements, and the common areas may be made from time to time by the Association Board of Directors as provided in the Condominium Documents. Copies of the Residency Rules and Regulations and amendments thereto shall be furnished by the Association to all unit owners and residents of the condominium upon request.



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**ATTACHMENT 1 – RECREATION FACILITIES**

It is the intent of these rules and regulations to insure safe and sanitary operation of the recreation facilities provided for the enjoyment of all the residents of Springbrook Condominium. The cooperation of all residents and their guests will guarantee pleasant, relaxing recreation for everyone. It is the responsibility of owners and residents to assure that their children and guests are aware of and abide by these rules.

Each unit owner may be issued two (2) recreation passes for each unit. Persons using Springbrook recreation facilities must have a pass in their possession at all times when using any of these facilities.

Any Director, resident, or attendant is ultimately responsible for the protection of the users' rights and safety; and are therefore given the responsibility and authority for strict enforcement of the rules. If it becomes necessary to bar anyone from admission to the recreation facilities such information shall be promptly reported to the Board of Directors for necessary action.



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**SWIMMING POOL**

1. The pool will be open according to the following schedule:

Daily – 8:00 AM to 9:00 PM

Lap swimming only 8:00 AM to 9:00 AM and 7:00 PM to 8:00 PM

The pool may be closed during inclement weather or operational difficulties or for necessary repairs.

2. ALL PERSONS USING THE POOL AREA DO SO AT THEIR OWN RISK.
3. All persons using the pool must shower prior to entering the pool
4. Owners and residents are permitted a maximum of four guests at the pool at one time.
5. Pets are not allowed in the pool area nor shall they be tied to the pool fence at any time.
6. For safety, glass, glass containers, alcoholic beverages and food are not allowed anywhere in the pool area.
7. For safety, no diving, running, pushing, wrestling, ball playing, or any disturbing conduct is allowed in the pool area.
8. Life rafts, floats, inner tubes, balls, and styrofoam articles are not allowed in the pool. Life jacket vests, inflatable vests, or water wings are permitted.
9. The life ring and shepherd's hook are for lifesaving purposes only. They are not to be removed from their appropriate hooks unless for emergency. The rope floats dividing the shallow and deep ends should not be removed from their hooks.

**EMERGENCY TELEPHONE NUMBERS:**

AMBULANCE, FIRE, POLICE

911

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10. For safety, children under the age of thirteen (13) must be under adult supervision at all times.
11. Admission will be refused to any and all persons having infections, bandages, communicable diseases or any other unhealthy condition.
12. Users of the pool are responsible for their own belongings. Skateboards, roller-skates, and scooters are not allowed in the pool area. Bicycles are not allowed in the pool area and may not lean or be affixed to the pool fence or obstruct the entrance to the pool area.
13. Proper swimming attire must be worn in the pool area at all times. String bikinis will not be considered proper swimming attire for pool use. Persons with long hair shall wear their hair up when in the pool.
14. No loud radio playing is allowed in the pool area.
15. All trash is to be deposited in the proper receptacles in accordance with the condominium rules and regulations.



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TENNIS COURTS-

1. The tennis courts are provided for the enjoyment of Springbrook Condominium owners, residents, and their guests only; and are to be used only for playing tennis.
2. If others are waiting to play the following time limits shall be observed:

Singles	1 hour
Doubles	1 1/2 hour
3. Appropriate tennis attire, including proper tennis shoes, must be worn at all times on the courts.
4. Residents and owners always have the first right of use of the courts.
5. Pets are not allowed on the courts, nor are they to be tied to the fencing.
6. Alcoholic beverages and food are not allowed on the courts at any time.
7. Glass or glass containers are not allowed on the courts.
8. All rubbish shall be placed in the appropriate receptacles as indicated in rule 15 for the pool.
9. Skateboards, roller-skates, and scooters are not allowed on the courts. Bicycles are not allowed on the courts and may not lean or be affixed to the fence or obstruct the entrance to the courts.

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**CLUBHOUSE**

1. The clubhouse is for the exclusive use of Springbrook Condominium Residents and their invited guests.
2. Residents may reserve the clubhouse on a "first come, first served" basis, with the prior approval of the Board of Directors.
3. Rental of the clubhouse for non-Association functions does not, under any circumstances, include the use of the pool.
4. No outside organizations, even if sponsored by a resident, are permitted to hold meetings in the clubhouse. A resident may not reserve the clubhouse for a non-resident.
5. Association sponsored meetings for the Board of Directors and functions available to all residents shall have first priority for use of the clubhouse.
6. Rental hours for the clubhouse area:

	SUMMER	WINTER
Sunday – Thursday	8:00 PM to 11:30 PM	12:00 PM to 11:30 PM
Friday & Saturday	8:00 PM to 12:30 PM	12:00 PM to 12:30 AM

7. It is expected that everyone using the clubhouse facilities will behave and dress appropriately and in good taste, and will respect the rights and comforts of their neighbors. Those abusing the clubhouse or the rights of others will be denied use of the clubhouse. The host resident must be present at all times.
8. All decisions relative to the use of the clubhouse are the sole responsibility, and at the discretion, of the Board of Directors.
9. Reservations for use of the clubhouse must be arranged at least two (2) weeks in advance, but, for a date no farther than nine (9) weeks in the future. Requests for use of the clubhouse must be submitted on a rental application (copy attached).



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10. There is a non-refundable charge of \$35.00 when the clubhouse is rented. All rentals also require a refundable \$300.00 deposit to cover any possible damages. Check(s) must accompany the rental application to be submitted to the Board for approval.
11. The consumption or serving of alcoholic beverages in or about the clubhouse is done so at the risk of the consumer or server.
12. The Association and the Board of Directors shall be indemnified by the responsible party against any claim brought against the Association or Board for violation of any rule with respect to the clubhouse and for any claim brought about as the result of the presence of alcoholic beverages in or about the clubhouse.
13. The clubhouse shall be left in the same cleaned condition as when rented; if not a minimum \$50.00 cleaning charge will be deducted from the deposit.





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**ATTACHMENT 2 – PENALTIES**

Should any Owner or Resident of Springbrook Condominium not comply with the Springbrook Condominium Residency Rules and Regulations the following penalties may be imposed:

1st Offense	Written Warning
2nd Offense	\$ 50.00 Fine
3rd Offense	\$100.00 Fine
Continuous Offenses	Revocation of all Condominium privileges

Illegally parked or improperly registered vehicles will be towed at the owner's expense, without warning.

Continuous offenses may require appearance of the Owner or Resident before the Board of Directors for further disciplinary action.